

# Northville DDA Economic Development Committee

Thursday, May 26, 2020 – 3:30 pm

Via Zoom Meeting



The meeting will be held via video conference in compliance with Executive Order 2020-75, issued by Michigan Governor Whitmer, temporary authorization of remote participation in public meetings and hearings. Members of the public body and members of the public participating electronically will be considered present at the meeting and may participate as if physically present at the meeting.

The following is a link to attend the meeting scheduled for Thursday, May 26, 2020 at 3:30 pm:

<https://us02web.zoom.us/j/84080388112>

Meeting ID: 840 8038 8112

Dial by your location

+1 312 626 6799 US (Chicago), Meeting ID: 840 8038 8112

Log in Instructions, Meeting Rules and Tips are available on the City's website at this link: <https://www.ci.northville.mi.us/cms/One.aspx?portalId=11895963&pageId=13505469#pc> OR from the main Home page, click on the Government tab, then Agendas and Minutes, scroll to the Downtown Development Authority section of the webpage, and scroll down to the link for this meeting. "Zoom Webinar User Guide for City of Northville PCity of Northville is inviting you to a scheduled Zoom meeting.

## Meeting Agenda

### Public Comment

1. 150 – 156 N. Center Street – Presentation by Robert Miller (Attachment 1)
2. MEDC Programs – Michelle Aniol (Attachment 2)
3. Master Plan Update - Carol Maise
4. Next Meeting – June 25, 2020

# 150-156 NORTH CENTER STREET NEW BUILDING AND BUILDING ADDITION

NORTHVILLE, MICHIGAN

Owner |  
156 N Center LLC  
42300 West Nine Mile Road  
Novi, Michigan 48375  
248 | 349 | 1009

Architect  
M Architects  
114 Rayson Street  
Suite 2C  
Northville, Michigan 48167  
248 | 349 | 2708

Civil Engineer |  
Zeimet Wozniak & Associates  
55800 Grand River  
Suite 100  
New Hudson, Michigan 48165  
248 | 437 | 5099

PARKING CALCULATIONS - EXISTING					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	EXISTING PARKING SPACES
RESTAURANT	1 space / 150 sqft	150 N CENTER (TUSCAN CAFE): 1,505 sqft 156 N CENTER: 0	1,505 / 150 = 10 SPACES	21.5 SPACES	150 N CENTER: 9.0 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER 156 N CENTER: 4.0 SPACES ON SITE (THESE WILL BE REMOVED) 10.2 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER  TOTAL EXISTING: 23.2 SPACES
RESIDENTIAL	1 space / Bedroom	150 N CENTER: (3) TOTAL BEDROOMS 156 N CENTER: 0	3 * 1 = 3 SPACES		
OFFICE	1 space / 250 sqft	150 N CENTER: 0 156 N CENTER: 2,105 sqft	2,105 / 250 = 8.5 SPACES		

PARKING CALCULATIONS - PROPOSED					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	1 space / 150 sqft	150-156 N CENTER: 3,525 sqft (NEW RESTAURANT 2,434 sqft / NEW TUSCAN 1,091 sqft)	3,525 / 150 = 23.5 SPACES	23.5 + 12 = 35.5 SPACES	EXISTING: 19.2 SPACES  THEREFORE, 16.3 PARKING SPACES WILL REQUIRE CASH IN LIEU.
RESIDENTIAL	1 space / Bedroom	FIRST FLOOR SECOND FLOOR THIRD FLOOR TOTAL # of Bedrooms / Flex Rooms - 6 6 12	12 * 1 = 12 SPACES		

PROJECT INFORMATION - EXISTING																	
ZONING	EXISTING LAND USE		EXISTING LOT SIZE		EXISTING LOT COVERAGE		EXISTING BUILDING SIZE					EXISTING BUILDING USE			EXISTING F.A.R.		
CBD	COMMERCIAL / RESIDENTIAL	150 N CENTER: 1,588 sqft (.036 ACRES) 156 N CENTER: 3,795 sqft (.087 ACRES)  PROJECT TOTAL: 5,383 sqft (.123 ACRES)		150 N CENTER: 94.7% 156 N CENTER: 55.4%		150 N CENTER:	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING TOTAL	BUILDING FOOTPRINT	150 N CENTER:	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING / LOT	
				150 N CENTER:	1,505 sqft	1,216 sqft	-	2,721 sqft	1,505 sqft	150 N CENTER:	RESTAURANT	RESIDENTIAL	-	150 N CENTER:	2721 / 1588 = 1.71		
				156 N CENTER:	2,105 sqft	-	-	2,105 sqft	2,105 sqft	156 N CENTER:	OFFICE	-	-	156 N CENTER:	2105 / 3795 = 0.55		
PROJECT INFORMATION - PROPOSED																	
ZONING	PROPOSED LAND USE		LOT SIZE		PROPOSED LOT COVERAGE		PROPOSED BUILDING SIZE					PROPOSED BUILDING USE			PROPOSED F.A.R.		
CBD - SEE INFO BELOW	COMMERCIAL / RESIDENTIAL	PROJECT TOTAL: 5,383 sqft (.123 ACRES)		150-156 N CENTER: 95.5%		150-156 N CENTER:	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING TOTAL	BUILDING FOOTPRINT	150-156 N CENTER:	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING / LOT	
				150-156 N CENTER:	5,142 sqft	5,138 sqft	4,764 sqft	15,044 sqft	5,142 sqft	150-156 N CENTER:	RESTAURANT	RESIDENTIAL	RESIDENTIAL	150-156 N CENTER:	15,044 / 5,383 = 2.79		
ZONING REGULATIONS		MIN. LOT SIZE		MAX. BUILDING HEIGHT		MINIMUM YARD SETBACK		MAXIMUM FLOOR AREA RATIO		MINIMUM LANDSCAPE AREA		MAXIMUM LOT COVERAGE		MINIMUM FLOOR AREA		PROPOSED FOOTNOTES	
REQUIRED	AREA	WIDTH	STORIES	FEET	FRONT	LEAST SIDE	TOTAL	REAR	3.0	N/A	N/A	N/A	(a) PROPOSED BUILDING HEIGHT IS MEASURED TO THE FLAT ROOF ELEVATION. THE TOWER ELEMENT IS 41'-6"; THE HEIGHT TO THE TALLEST PARAPET IS 39'-4"; THE HEIGHT TO THE TOP OF THE ELEVATOR/STAR TOWER IS 43'-8".				
PROPOSED	N/A	N/A	3	34'-6" (a)	N/A	N/A	N/A	0' (b)	2.79				(b) THE PROJECT IS SEEKING PLANNING COMMISSION APPROVAL FOR A ZERO (0) REAR YARD SETBACK, AS THE PROJECT PROPOSES TO UTILIZE A NEWLY CONSTRUCTED DROP OFF AND LOADING ZONE ALONG DUNLAP STREET. THE INTENTION OF THIS ZONE IS TO REDUCE TRAFFIC IN THE EXISTING PARKING LOT.				

UNIT CALCULATIONS					
FLOOR	UNIT #	UNIT AREA	# BEDROOMS	# FLEX ROOMS	
2	1	1,341 sqft	2	0	
2	2	1,139 sqft	1	1	
2	3	579 sqft	1	0	
2	4	600 sqft	1	0	
3	5	1,341 sqft	2	0	
3	6	1,139 sqft	1	1	
3	7	1,195 sqft	1	1	
TOTALS	7	7,334 sqft	9	3	

## DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER	ISSUE DATE
COVER SHEET	C1.0	
BOUNDARY AND TOPOGRAPHIC SURVEY	S-1	
SITE PREPARATION PLAN	S-2	
SITE GRADING PLAN	S-3	
SITE UTILITY PLAN	S-4	
NOTES AND DETAILS	S-5	
EXISTING PHOTOGRAPHS	A100	
ARCHITECTURAL SITE PLAN	A101	
FIRST LEVEL FLOOR PLAN	A102	
SECOND LEVEL FLOOR PLAN	A103	
THIRD LEVEL FLOOR PLAN	A104	
ROOF PLAN	A105	
EXISTING EXTERIOR ELEVATIONS	A301	
PROPOSED EXTERIOR ELEVATIONS	A302	
PROPOSED EXTERIOR ELEVATIONS	A303	
PROPOSED EXTERIOR ELEVATIONS	A304	
PROPOSED EXTERIOR ELEVATIONS	A305	



LOCATION MAP  
NO SCALE

ISSUE DATE  
09.09.19 P.C. REVIEW

NOT FOR CONSTRUCTION

PRESLEY ARCHITECTURE

108 N. CENTER ST. SUITE 205 NORTHVILLE, MI 48167  
P. 248.348.1124 F. 248.348.9300 E. gregpresley@comcast.net

M  
ARCHITECTS  
114 RAYSON STREET SUITE 202  
NORTHVILLE, MICHIGAN 48167  
PHONE 248.349.9708  
marchitects.com

PROJECT  
NEW BUILDING AND  
BUILDING ADDITION  
at  
150 / 156 North Center Street  
Northville, MI 481467

PROJECT ADDRESS  
150 / 156 North Center Street  
Northville, MI 48167

PROJECT NUMBER  
19.18

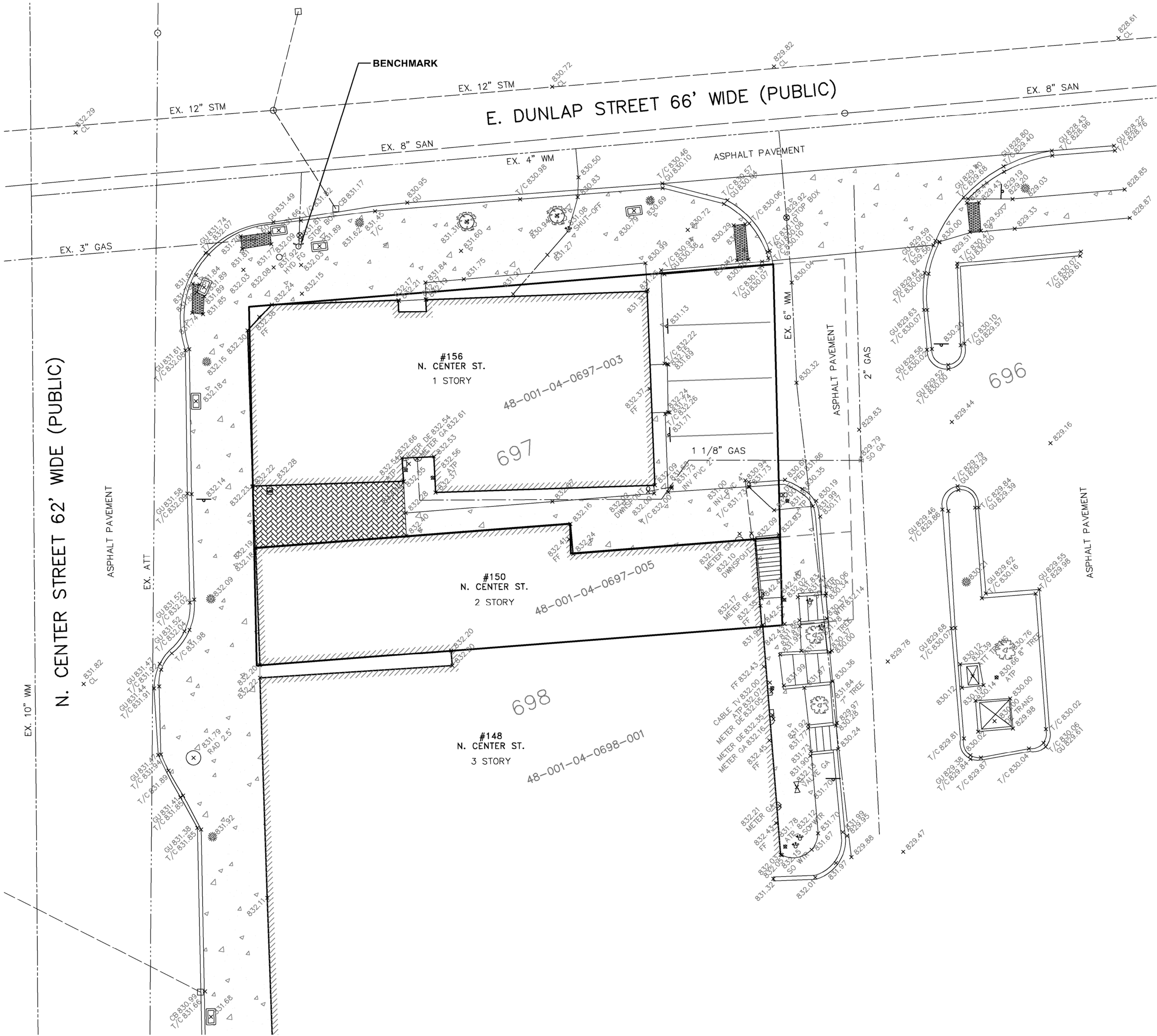
SHEET NAME  
COVER SHEET

SHEET NUMBER  
C1.0

DO NOT SCALE DRAWINGS: USE NOTED DIMENSIONS ONLY.

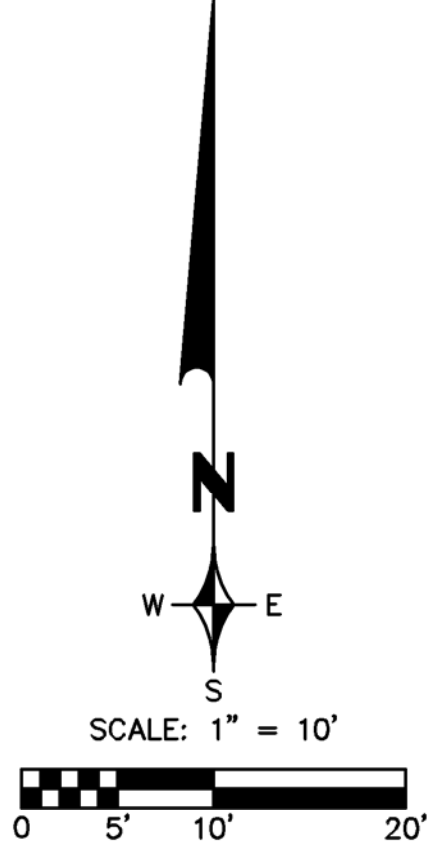
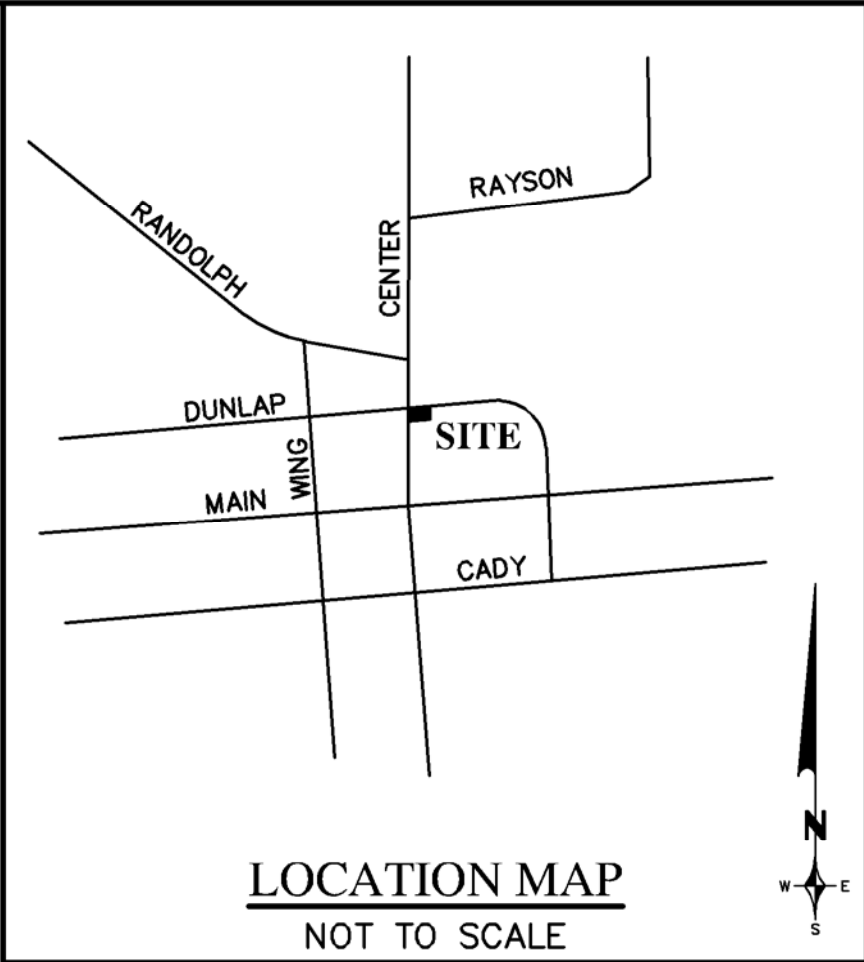
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**BENCHMARK:**

ARROW ON HYDRANT  
AT SOUTHWEST CORNER  
OF N. CENTER STREET  
AND E. DUNLAP STREET  
ELEVATION: 834.24  
USGS DATUM



**LEGEND**

- BOUNDARY LINE
- PARCEL LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CATCH BASIN
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- LIGHT POLE
- SIGN
- TREE
- CENTERLINE
- CL
- FF
- T/C
- GU
- +100.00
- SPOT ELEVATION

**PARCEL 48-001-04-0697-003  
LEGAL DESCRIPTION**

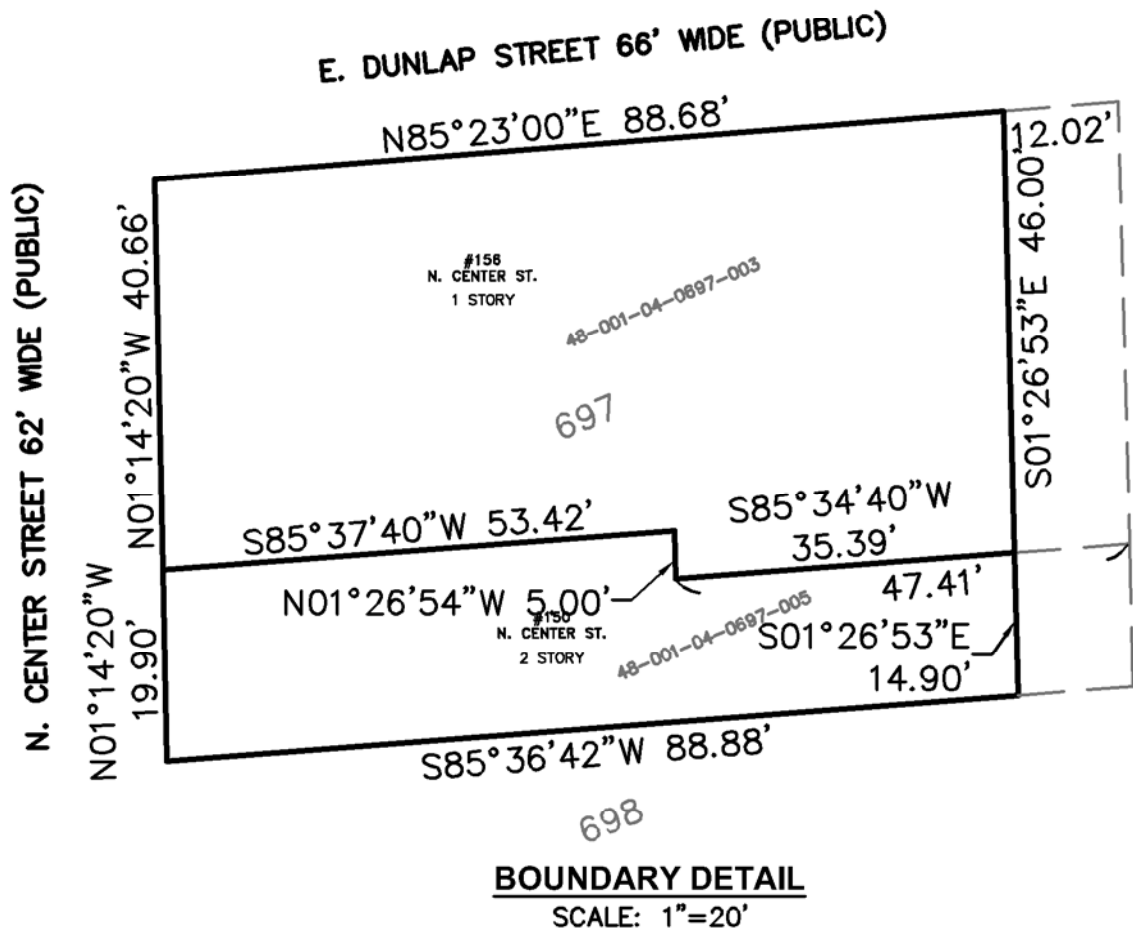
A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:

PART OF LOT 697 OF ASSESSOR'S NORTHVILLE PLAT NO. 7 OF BLOCKS 9, 10 AND 11 OF PLAT OF THE VILLAGE OF NORTHVILLE, AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 697; THENCE NORTH 85°23'00" EAST 88.68 FEET ALONG THE NORTH LINE OF SAID LOT 697, SAID LINE ALSO BEGIN THE SOUTH LINE OF DUNLAP STREET (66 FEET WIDE); THENCE SOUTH 01°26'54" EAST 46.00 FEET; THENCE SOUTH 85°34'40" WEST 35.39 FEET; THENCE NORTH 01°26'54" WEST 5.00 FEET; THENCE SOUTH 85°34'40" WEST 53.42 FEET TO A POINT ON THE EAST LINE OF NORTH CENTER STREET (62 FEET WIDE); AND THENCE NORTH 01°14'20" WEST 40.66 FEET ALONG THE WEST LINE OF SAID LOT 697, SAID LINE ALSO BEING SAID EAST LINE OF NORTH CENTER STREET (62 FEET WIDE) TO THE POINT OF BEGINNING.

**PARCEL 48-001-04-0697-005  
LEGAL DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:

THE SOUTH 19.90 FEET OF THE WEST 53.42 FEET OF LOT 697, AND THE SOUTH 14.90 OF THE EAST 47.71 FEET OF LOT 697, EXCEPT THE EAST 12 FEET THEREOF, OF ASSESSOR'S NORTHVILLE PLAT NO. 7, OF BLOCKS 9, 10 AND 11 AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS.



**NOTES:**

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

**ZEIMET WOZNIAK & ASSOCIATES**  
Civil Engineers & Land Surveyors  
55800 GRAND RIVER AVE., SUITE 100  
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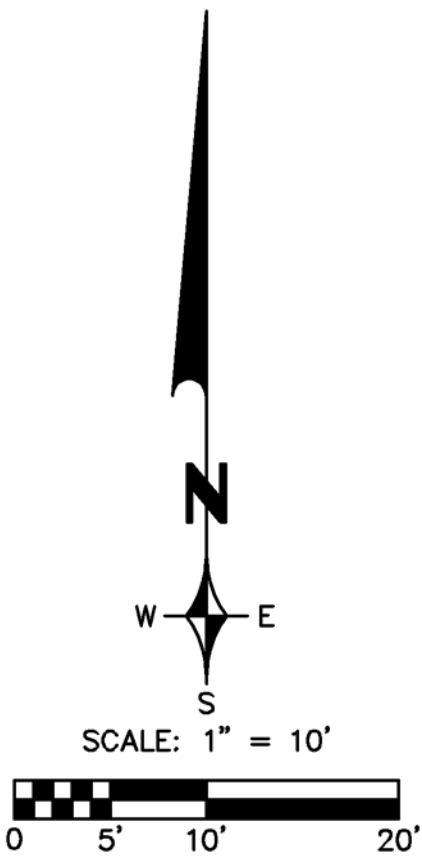
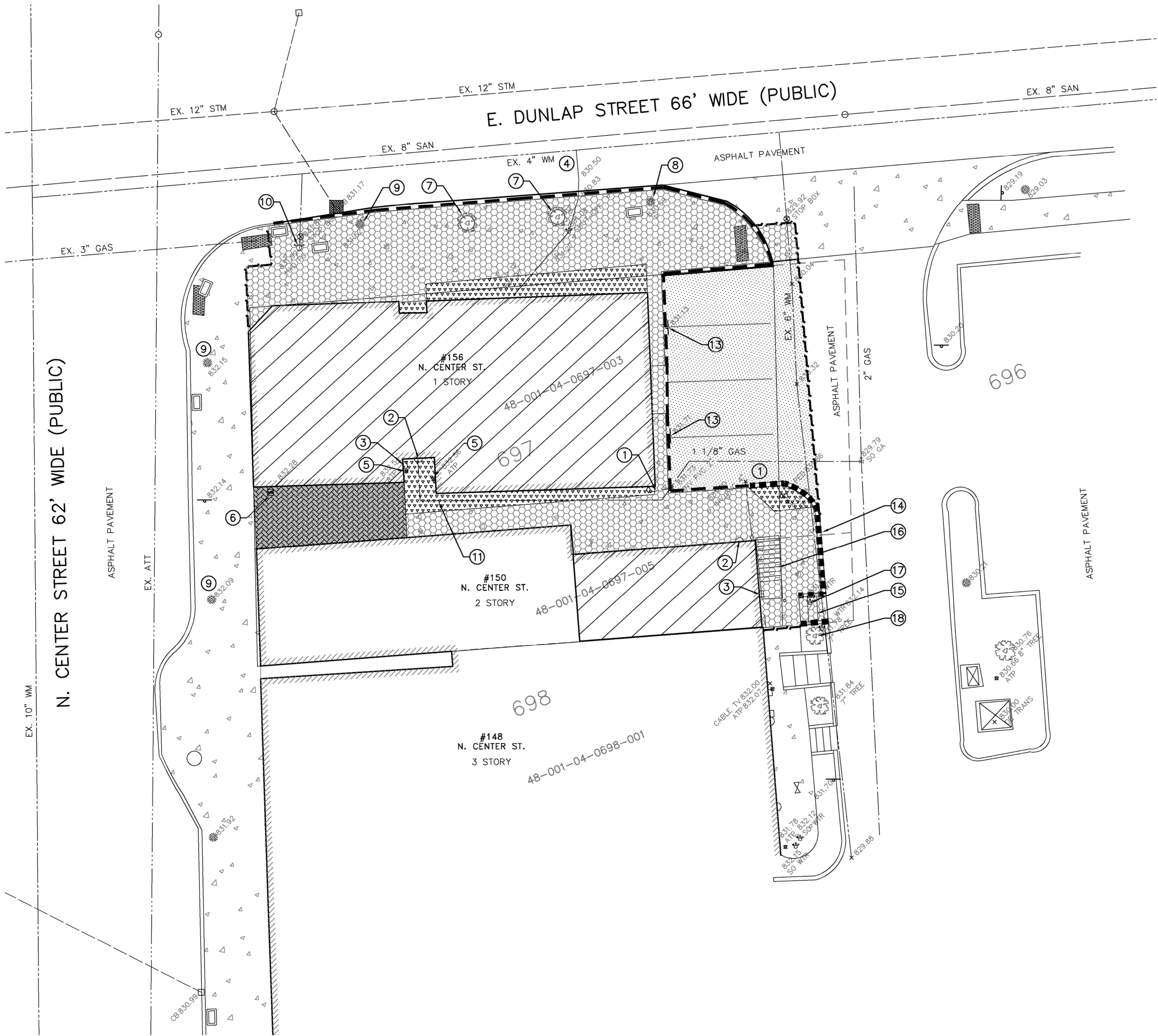
**PROJECT SPONSOR:**  
M ARCHITECTS  
114 RAYSON ST., STE. 2C  
NORTHVILLE, MI 48167  
248.349.2708

**EXISTING CONDITIONS**  
156 N. CENTER STREET  
NORTHVILLE, MICHIGAN




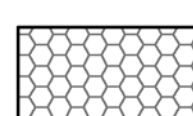





**DATE:** 3/17/20  
**SCALE:** HOR: 1" = 10'  
VER: 1" = N/A  
**DESIGNED BY:** SRB  
**JOB NO.:** 19125  
**DRAWN BY:** SRB  
**SHEET:** S-1







REMOVALS LEGEND:

-  REMOVE BUILDING AND FOUNDATION
-  REMOVE EXISTING BRICK PAVERS
-  REMOVE EXISTING ASPHALT PAVEMENT AND BASE
-  REMOVE EXISTING CONCRETE
-  REMOVE EXISTING LANDSCAPING/VEGETATION
-  REMOVE EXISTING CURB AND GUTTER
-  REMOVE EXISTING WALL
-  FULL DEPTH SAWCUT (EXACT LIMITS TO BE DETERMINED IN FIELD)
-  INLET FILTER (SILT SACK)

NOTE KEY:

1. REMOVE EXISTING PVC PIPE.
2. REMOVE EXISTING GAS METER. (COORDINATE WITH GAS COMPANY)
3. REMOVE EXISTING ELECTRIC METER. (COORDINATE WITH ELECTRIC COMPANY)
4. CUT AND CAP EXISTING WATER SERVICE AT SHUT-OFF. (COORDINATE WITH CITY DPW)
5. REMOVE EXISTING PEDESTAL. (COORDINATE WITH UTILITY COMPANY)
6. REMOVE/RELOCATE EXISTING MAILBOX. (COORDINATE WITH POSTAL SERVICE)
7. REMOVE EXISTING TREE, ROOTS, STUMP AND WELL.
8. REMOVE EXISTING LIGHT POLE, ELECTRICAL BOX AND BASE.
9. PROTECT EXISTING LIGHT POLE THROUGHOUT CONSTRUCTION.
10. PROTECT EXISTING HYDRANT THROUGHOUT CONSTRUCTION.
11. REMOVE EXISTING GAS SERVICE. CUT AND CAP AT MAIN.
12. LOCATION OF EXISTING SANITARY SERVICE IS UNKNOWN. CONTRACTOR TO LOCATE IN FIELD AND CUT CAP SERVICE OUTSIDE OF PROPOSED BUILDING LIMITS.
13. REMOVE EXISTING SIGN AND POST.
14. REMOVE EXISTING WALL.
15. REMOVE EXISTING STEPS.
16. REMOVE EXISTING STAIRWAY.
17. ADJUST EXISTING SHUT-OFF TO PROPOSED GRADE.
18. PROTECT EXISTING TREE THROUGHOUT CONSTRUCTION.



NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY, ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY

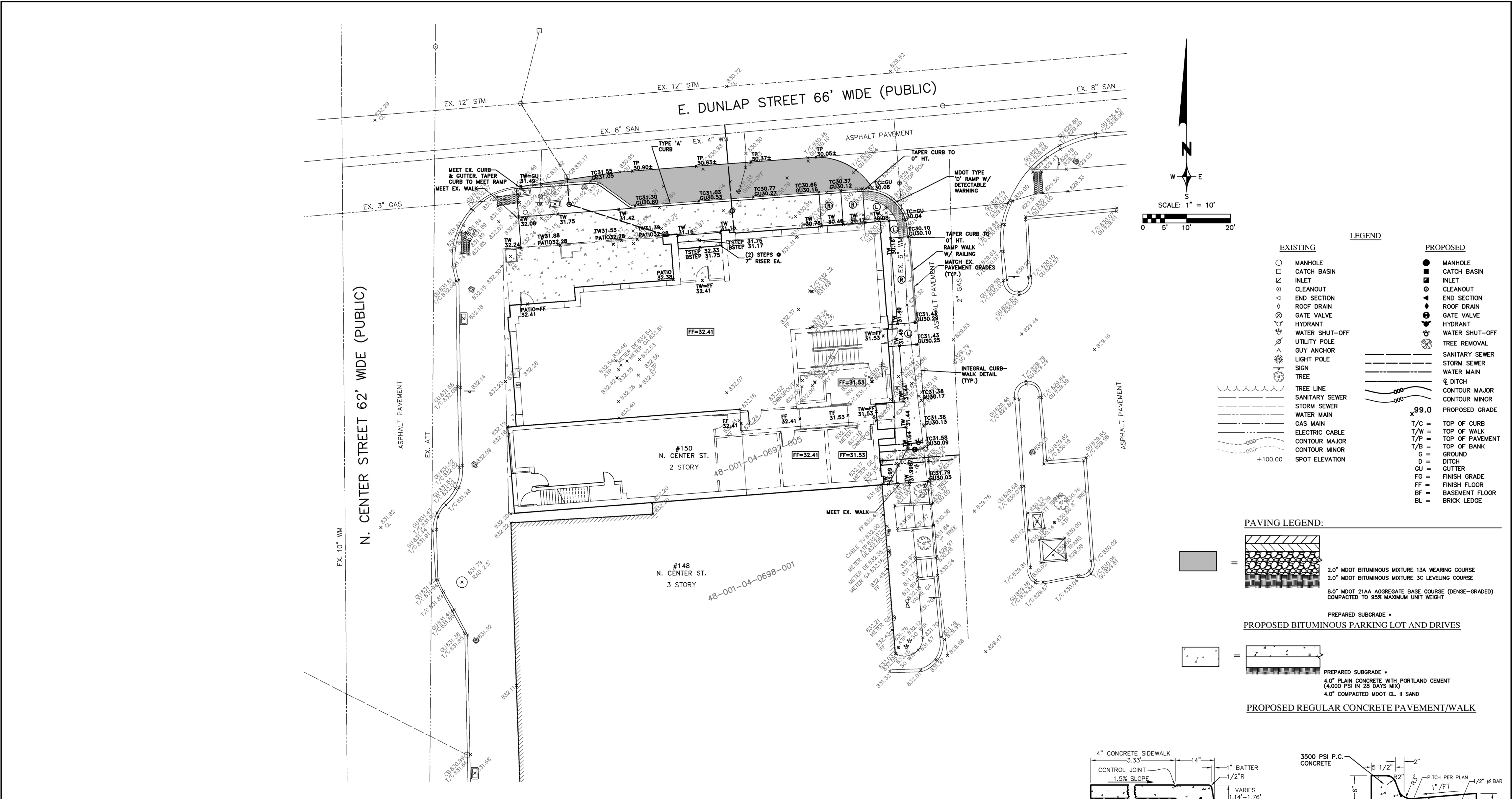
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NORTHVILLE, MI 48167  
248.349.2708

<b>SITE PREPARATION PLAN</b> <b>156 N. CENTER STREET</b> NORTHVILLE, MICHIGAN	DATE 3/17/20	SCALE HOR: 1" = 10' VER: 1" = N/A
	DESIGNED BY SRB	JOB NO. 19125
	DRAWN BY SRB	SHEET S-2
	FIELD BOOK	





- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
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  3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.



GENERAL UTILITY NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
- EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY PRIOR TO INSTALLATION.
- REFER TO CITY OF NORTHVILLE STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

SANITARY SEWER NOTES:

- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
- ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE WITH A MINIMUM DIAMETER OF 6 INCHES.
- ALL SANITARY SEWER MAIN SHALL BE CONSIDERED OF SDR 26 PIPE WITH A MINIMUM DIAMETER OF 8" PER CITY REQUIREMENTS.
- JOINTS FOR P.V.C SOLID WALL PIPE SHALL BE ELASTOMERTRIC (RUBBER GASKET) AS SPECIFIED IN ASTM DESIGNATION D-3212.
- REFER TO CITY OF NORTHVILLE DETAILS FOR PIPE BEDDING DETAILS.
- REFER TO CITY OF NORTHVILLE SANITARY SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

WATER MAIN NOTES:

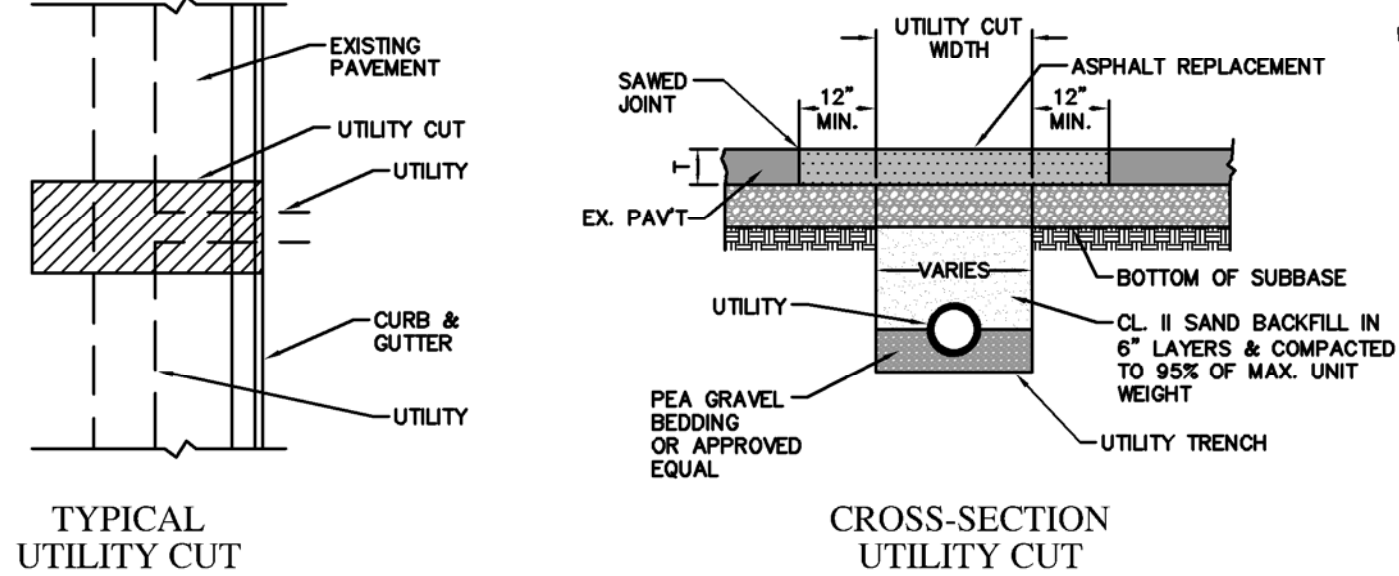
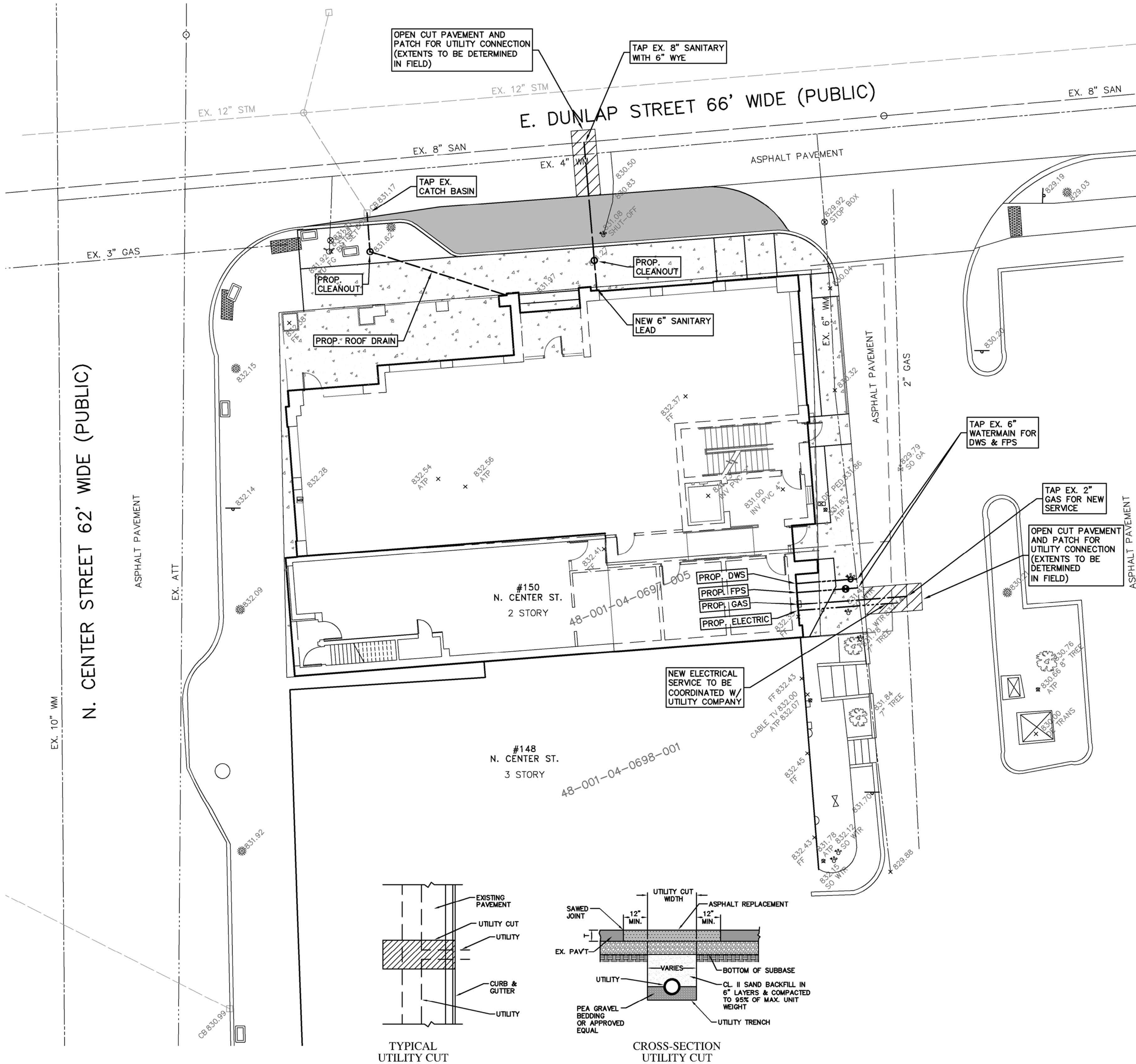
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY FIVE (45") DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95%) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY SEWER OR STRUCTURE.
- ALL WATER MAIN 3 INCHES OR LARGER SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
- ALL WATER SERVICES SMALLER THAN 3 INCHES SHALL BE TYPE "K" COPPER.
- REFER TO CITY OF NORTHVILLE WATER MAIN DETAIL SHEETS FOR ADDITIONAL INFORMATION.

STORM SEWER NOTES:

- ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE STANDARD DETAILS SHEET FOR STANDARD BEDDING DETAILS.
- JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
- ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE DETAILS FOR BEDDING DETAILS.
- REFER TO CITY OF NORTHVILLE STORM SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.



NOTES:

- WHERE PAVEMENT REPLACEMENT DOES NOT IMMEDIATELY FOLLOW BACK-FILL OPERATION, A TEMPORARY SURFACING SHALL BE PLACED AS DIRECTED BY THE CITY ENGINEER.
- ASPHALT PAVEMENT SHALL MEET CURRENT M.DOT SPECIFICATIONS.
- WHEN REPLACING PAVEMENT, REPLACE IN KIND AND THICKNESS.
- THE BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 9" IN THICKNESS, AND COMPACTED WITH A MECHANICALLY OPERATED HAND-HELD VIBRATING OR IMPACT TYPE COMPACTOR. WHEN CONTROLLED DENSITY IS CALLED FOR, BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- WHEN THE PATCH IS AGGREGATE AND BITUMINOUS, THE ASPHALTIC MIXTURE SHALL BE #100 OR BETTER. COMPACTION SHALL BE ACCOMPLISHED BY MEANS OF A POWERED ROLLER OR VIBRATORY COMPACTOR.
- WHEN CURB, CURB AND GUTTER, VALLEY GUTTER AND/OR SHOULDERS ARE REMOVED OR DAMAGED AS PART OF THE UTILITY CUT, THEY SHALL BE REPAIRED OR REPLACED IN KIND USING TIE BARS.
- EXCESS EXCAVATED MATERIAL SHALL BE PROMPTLY REMOVED.

UTILITY CUT AND PAVEMENT REPLACEMENT  
NOT TO SCALE

UTILITY LEGEND

EXISTING

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- SIGN
- TREE
- TREE LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE

PROPOSED

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- TREE REMOVAL
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- DITCH



REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY

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**SITE UTILITY PLAN**  
156 N. CENTER STREET  
NORTHVILLE, MICHIGAN

DATE 3/17/20	SCALE HOR: 1" = 10' VER: 1" = N/A
DESIGNED BY SRB	JOB NO. 19125
DRAWN BY SRB	SHEET S-4



DUNLAP STREET CONSTRUCTION NOTES:

- ALL WORK WITHIN THE DUNLAP STREET R.O.W. SHALL BE TO CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY STRUCTURES WITHIN THE PROPOSED WORK AREA SHOULD BE ADJUSTED AND CHANGED AS NEEDED TO MATCH PROPOSED CONDITION. STRUCTURES SHALL BE REPAIRED OR RECONSTRUCTED AS NEEDED.
- RESTORE ALL DISTURBED NON–PAVED AREAS WITH A MINIMUM 3" TOPSOIL, SEED AND MULCH.
- MAINTAIN TWO–WAY TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL NOT POUR CURBS AND GUTTERS UNTIL FORMS ARE CHECKED AND APPROVED BY THE CITY INSPECTOR.
- ALL MUD AND DIRT TRACKED ONTO EXISTING ROADS FROM THIS SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- "PROPER SIGNING" IS REQUIRED BEFORE ANY WORK IN RIGHT–OF–WAY IS STARTED.
- LANE CLOSURES RESTRICTED TO 9 AM TO 3 PM, MONDAY TO FRIDAY.
- FIXED OBJECTS SHALL BE A MINIMUM 6 FEET FROM THE BACK OF THE FINISHED CURB LINE. REMOVE OR RELOCATE ALL FIXED OBJECTS PRIOR TO EXCAVATION.
- ANY PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES.
- EXCAVATIONS WITHIN A 1:1 INFLUENCE OF THE ROADWAY WILL REQUIRE MDOT CLASS II BACKFILL COMPACTED TO 95% MAXIMUM DENSITY.
- MATCH AND TIE PROPOSED CURB TO EXISTING CURB. EPOXY COATED #4 REBAR REQUIRED.

GENERAL SITE NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
- ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE CURRENT EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
- CONTRACTOR SHALL NOTIFY THE CITY OF NORTHVILLE A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY WORK.
- CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
- ALL EXCAVATION UNDER OR WITHIN A 1:1 INFLUENCE OF PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II MATERIAL).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, CURBS, WALKS, DRIVES, ETC. AS A RESULT OF HIS OPERATIONS.
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY FOR REVIEW.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE DESIGN ENGINEER IF ANY CONFLICTS ARE APPARENT.

GRADING NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
- ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCE ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL THE CITY INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (811) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF–SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTCD".
- ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI–OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING AROUND.
- ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

PAVING NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE AND M.D.O.T.
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D–1557) UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
- ANY SUB–GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

TRAFFIC SIGNING AND STRIPING REQUIREMENTS:

- ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE CURRENT EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
- SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL, OR FENCE AS NOTED ON THE PLANS.
- STRIPING FOR HANDICAPPED (BARRIER FREE) PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON–HANDICAPPED (STANDARD) PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ABUTS A NON–HANDICAPPED PARKING SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
- EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

GENERAL LAYOUT NOTES:

- PLACE 1/2" EXPANSION PAPER AT ALL LOCATIONS WHERE NEW CONCRETE WALK ABUTS OR MEETS BUILDINGS, CONCRETE CURBS, EXISTING SIDEWALKS, AND RETAINING WALLS.
- INSTALL EXPANSION JOINTS IN CONCRETE WALKS AS FOLLOWS:
  - 6' WD. SIDEWALK – 18' O.C. TYP.
  - 5' WD. SIDEWALK – 20' O.C. TYP.
  - 4' WD. SIDEWALK – 20' O.C. TYP.
  - 3' WD. SIDEWALK – 18' O.C. TYP.SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE WALKS AS FOLLOWS:
  - 6' WD. SIDEWALK – 6'X6' PANEL
  - 5' WD. SIDEWALK – 5'X5' PANEL
  - 4' WD. SIDEWALK – 4'X4' PANEL
  - 3' WD. SIDEWALK – 3'X3' PANELALL CONTROL JOINTS SHALL BE 1/4" WIDE AND SAWCUT TO 2" DEEP.
- ALL CONCRETE WALKS SHALL BE BROOM FINISHED PARALLEL TO JOINTS.

CONSTRUCTION NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE CITY'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WITHIN THE NEW CONSTRUCTION AREA (INCLUDING MAILBOXES) SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING DEMOLITION OPERATIONS AND THROUGHOUT CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- CONTRACTOR SHALL LIMIT ALL WORK AND DISTURBANCE TO WITHIN DESIGNATED PROJECT AREAS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY DAMAGE OR DISTURBANCE OUTSIDE THESE LIMITS.
- STREETS, SIDEWALKS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE CITY.
- ALL MATERIAL SPECIFIED TO BE REMOVED BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF–SITE PER APPLICABLE CODES AND REGULATIONS EXCEPT THAT PRIOR TO DISPOSAL OF ANY CASTINGS, SIGNS, OR POSTS THEY SHALL BE MADE AVAILABLE TO THE CITY OF NORTHVILLE FOR THE CITY'S SALVAGE YARD.
- DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
- DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE WATCHMEN AND FLAGMEN AS MAY BE REQUIRED FOR THE SAFETY AND CONVENIENCE OF THE PUBLIC AND SHALL FURNISH ALL BARRICADES, SIGNS, AND LIGHTS NECESSARY TO PROTECT THE PUBLIC. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY THE CITY OF NORTHVILLE. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES, CURRENT EDITION BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.

GENERAL SITE NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
- ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCE ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL THE CITY INSPECTION FEES.
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Z:\Projects\19\25\DWG\19125 SITE NOTES AND DETAILS.dwg, S-5 NOTES AND DETAILS, 3/12/2020 7:08:51 AM, ablaszczyk

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NOTES AND DETAILS  
156 N. CENTER STREET  
NORTHVILLE, MICHIGAN

FIELD BOOK	DATE	3/17/20	SCALE	HOR: 1" = N/A VER: 1" = N/A
	DESIGNED BY	SRB	JOB NO.	19125
	DRAWN BY	SRB	SHEET	S–5
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EXISTING LOOKING SOUTHEAST

IMAGE NUMBER  
**E-6.0**



EXISTING LOOKING WEST

IMAGE NUMBER  
**E-3.0**



EXISTING LOOKING SOUTHEAST

IMAGE NUMBER  
**E-8.0**



EXISTING LOOKING SOUTH

IMAGE NUMBER  
**E-5.0**



EXISTING LOOKING SOUTHWEST

IMAGE NUMBER  
**E-2.0**



EXISTING LOOKING EAST

IMAGE NUMBER  
**E-7.0**



EXISTING LOOKING NORTHEAST

IMAGE NUMBER  
**E-4.0**



EXISTING LOOKING NORTHWEST

IMAGE NUMBER  
**E-1.0**

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PROJECT  
NEW BUILDING AND  
BUILDING ADDITION  
at  
150 / 156 North Center Street  
Northville, MI 481467

PROJECT ADDRESS  
150 / 156 North Center Street  
Northville, MI 48167

PROJECT NUMBER  
19.18

SHEET NAME  
EXISTING PHOTOGRAPHS



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NORTH CENTER STREET

DUNLAP STREET



EXTERIOR LIGHT FIXTURE E1

SITE ELECTRICAL LIGHTING SCHEDULE						NOTE: EC TO VERIFY QUANTITIES PRIOR TO ORDERING
TYPE	QTY.	TYPE	INPUT WATTAGE	MANUFACTURER	MODEL	FIXTURE NOTES
E1	7	INGROUND GUIDE LIGHT	36.0 W	LIGMAN MASK	UMK 60685 6w LED W40 05 120 DIM	MOUNT IN CONCRETE SIDEWALK
						● = DIRECTION OF LIGHT

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PROJECT NUMBER

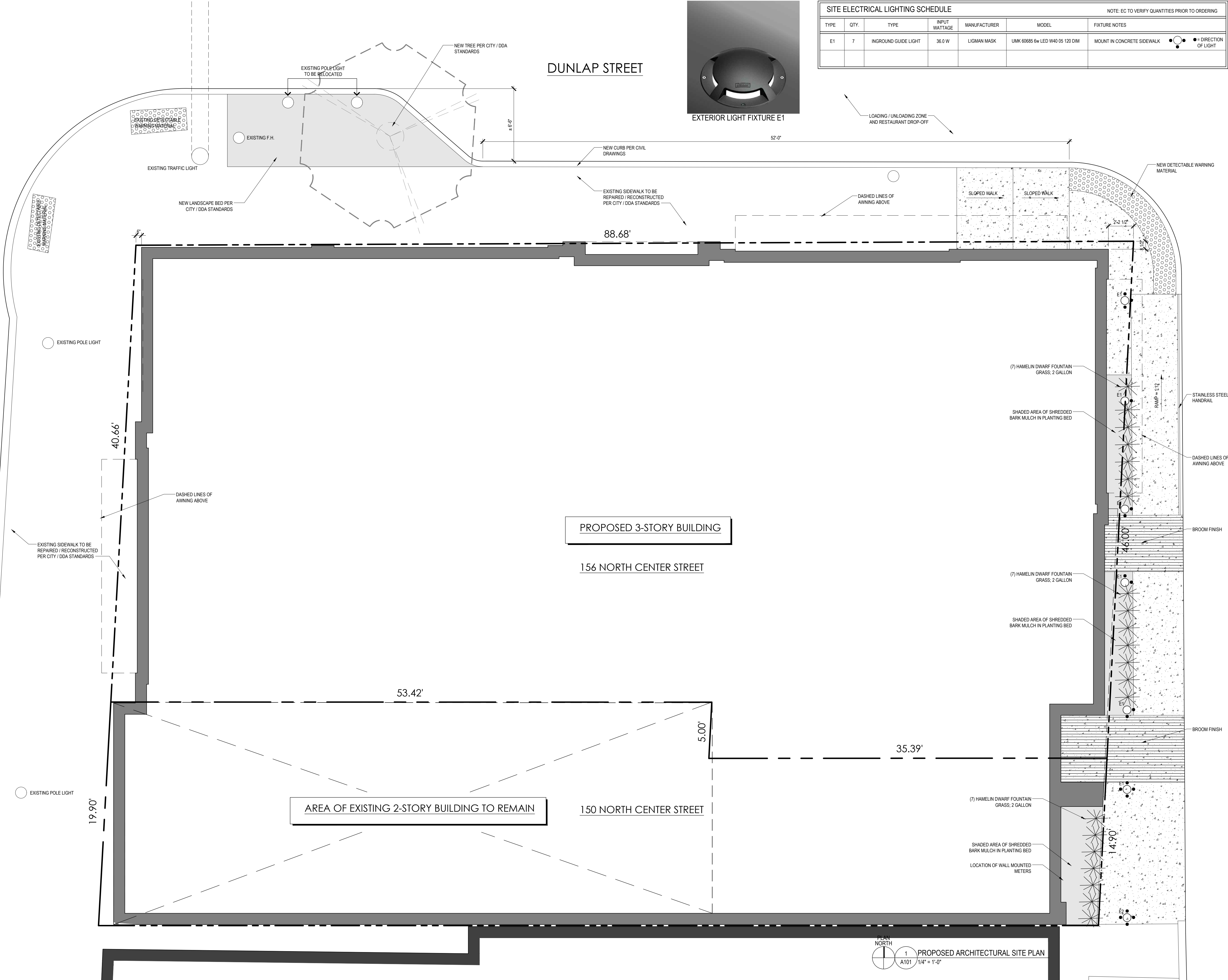
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SHEET NAME

PROPOSED ARCHITECTURAL  
SITE PLAN

SHEET NUMBER

A101





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NORTH CENTER STREET

DUNLAP STREET

41'-0" OVERALL NEW BUILDING DIMENSION

86'-6" OVERALL NEW BUILDING DIMENSION

LOADING / UNLOADING ZONE  
AND RESTAURANT DROP-OFF

DASHED LINES OF  
AWNING ABOVE

STAINLESS STEEL  
HANDRAIL

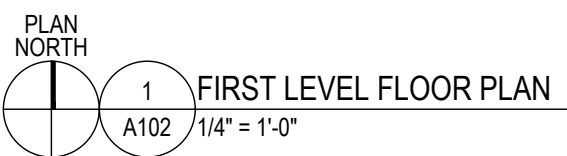
DASHED LINES OF  
AWNING ABOVE

DASHED LINES OF  
CANOPY ABOVE

OUTLINE OF EXISTING ROOF

EXISTING BUILDING GAP

EXISTING DOOR TO BE  
REPLACED WITH NEW  
WOOD DOOR WITH FULL,  
CLEAR GLASS LITE



ISSUE DATE  
09.09.19 P.C. REVIEW

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PROJECT NUMBER  
19.18

SHEET NAME  
FIRST LEVEL FLOOR PLAN

SHEET NUMBER

A102



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PROJECT  
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G ADDITION  
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e, MI 481467

150 / 156 North Center Street  
Northville, MI 48167

9.18

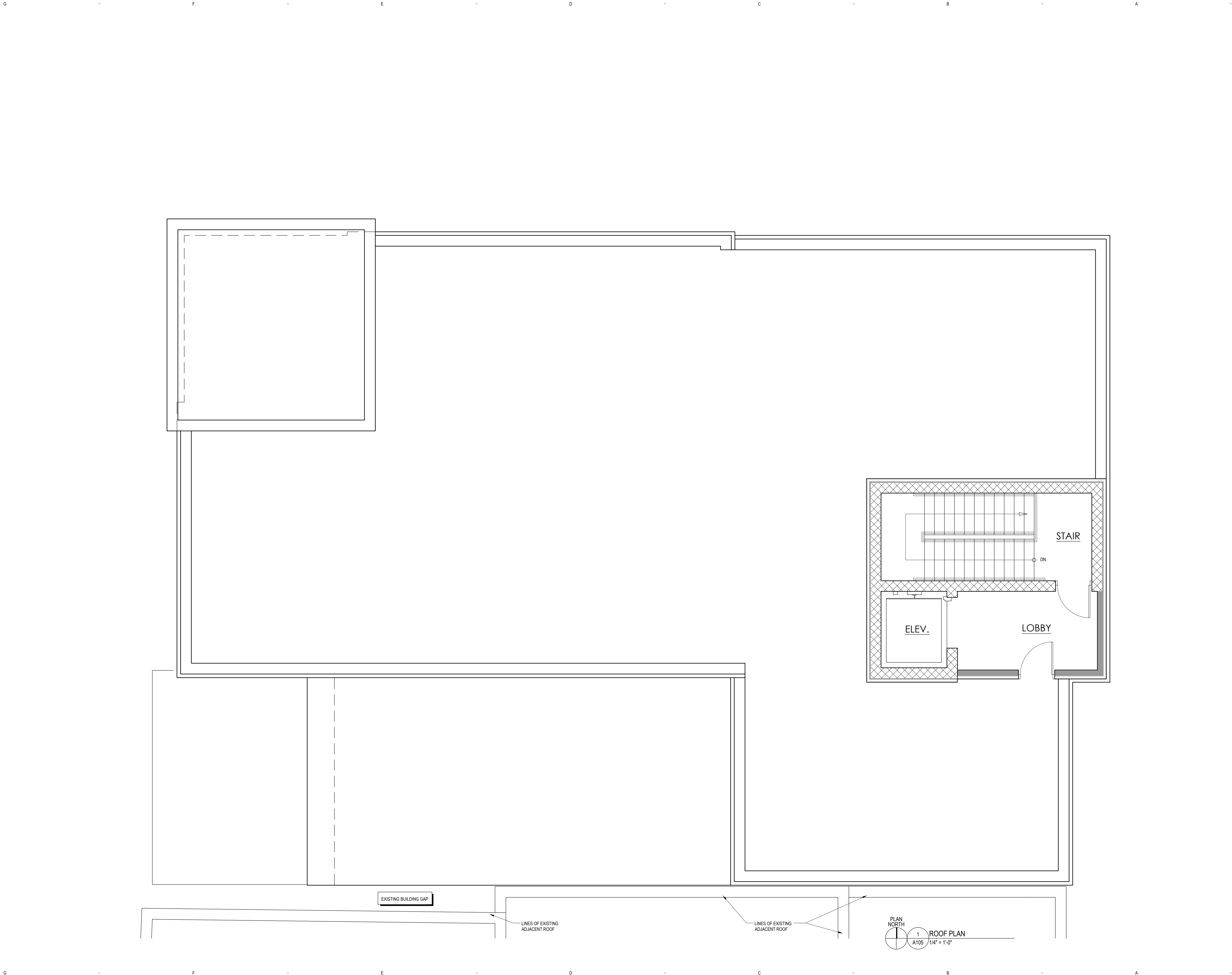
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SHEET NAME

ROOF PLAN

SHEET NUMBER

A105



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ISSUE DATE

09.09.19

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SHEET NAME

EXISTING EXTERIOR  
ELEVATIONS

SHEET NUMBER

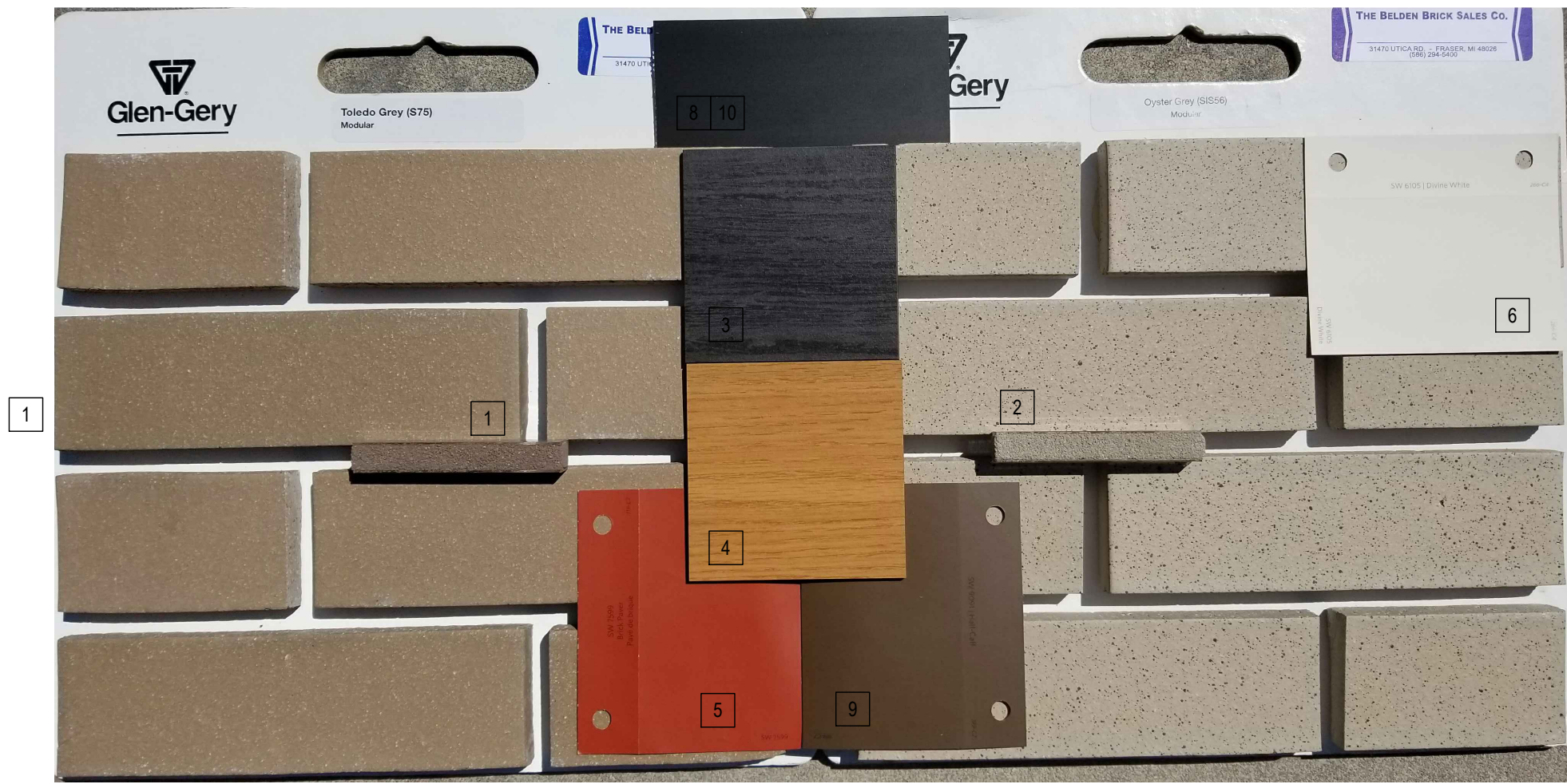
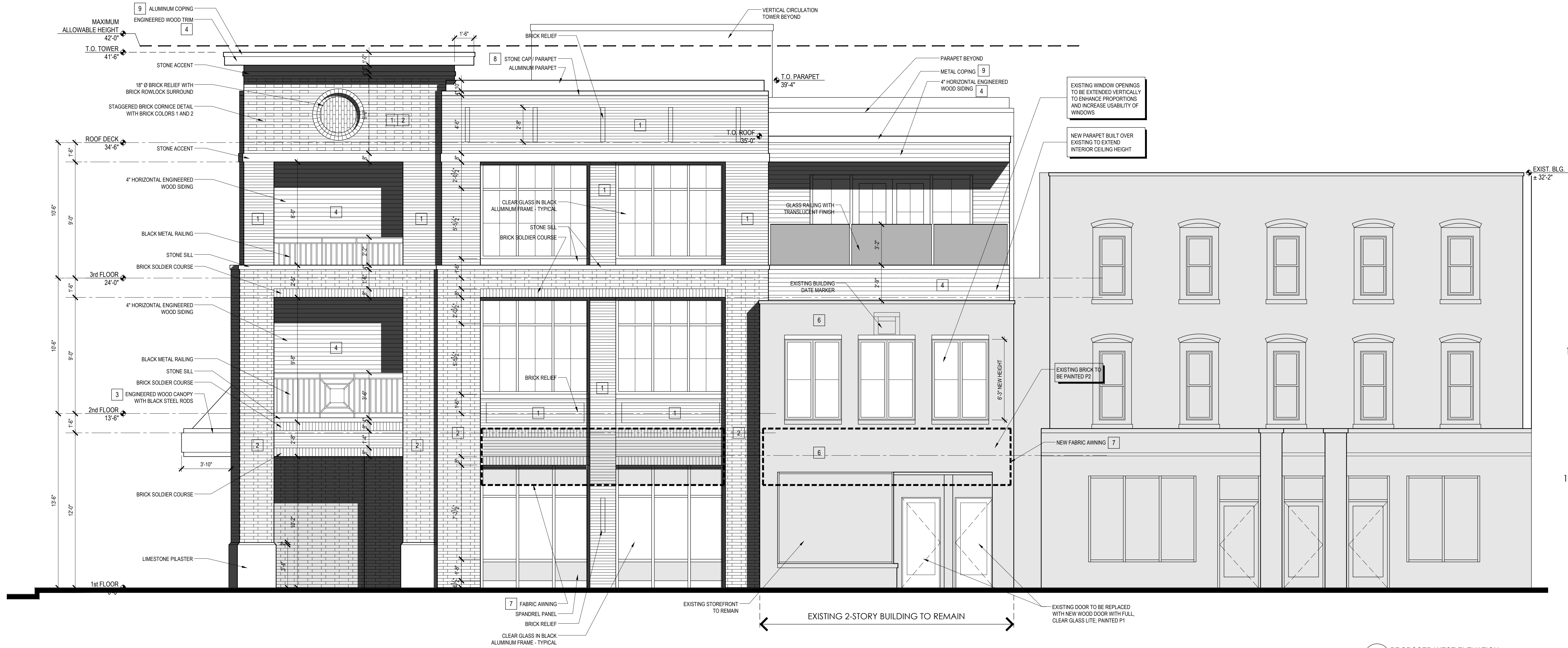
A301





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MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY S75 MODULAR GROUT 1: SOLOMON DEEP BROWN 37X
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR GROUT 2: SOLOMON LIGHT BUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-GLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS: SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK

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PRESLEY ARCHITECTURE

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marchitects.com

PROJECT  
NEW BUILDING AND  
BUILDING ADDITION  
at  
150 / 156 North Center Street  
Northville, MI 481467

PROJECT ADDRESS  
150 / 156 North Center Street  
Northville, MI 481467

PROJECT NUMBER  
19.18

SHEET NAME  
PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

A302



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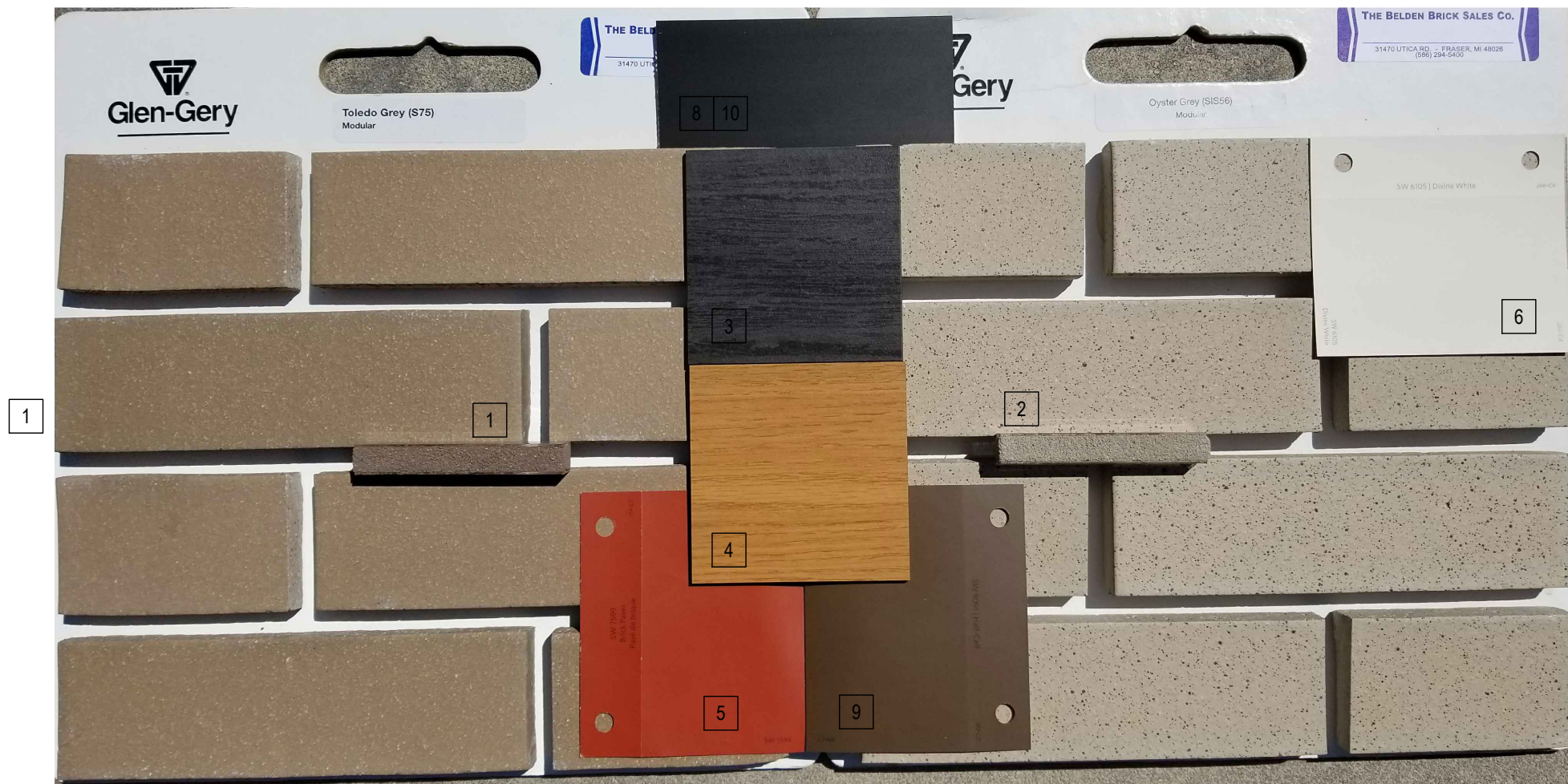
PROJECT ADDRESS  
150 / 156 North Center Street  
Northville, MI 48167

PROJECT NUMBER  
19.18

SHEET NAME  
PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

A303



MATERIAL LEGEND  
NOT TO SCALE

MATERIAL INFORMATION

1	BRICK 1: GROUT 1:	GLEN-GERY BRICK TOLEDO GREY S75 MODULAR SOLOMON DEEP BROWN 37X
2	BRICK 2: GROUT 2:	GLEN-GERY OYSTER GREY S155 MODULAR SOLOMON LIGHT BUFF 10X
3	ENGINEERED WOOD 1:	SIMILAR TO TRESPA METEON SLATE WOOD NW22ST
4	ENGINEERED WOOD 2:	SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1:	SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2:	SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING:	MATCH PAINT 1
8	ALUMINUM COPING 1:	SIMILAR TO PAC-GLAD: MATTE BLACK
9	ALUMINUM COPING 2:	SIMILAR TO SHERWIN WILLIAMS: SW9091 HALF-CAFF
10	WINDOW FRAMES:	ANODIZED BLACK

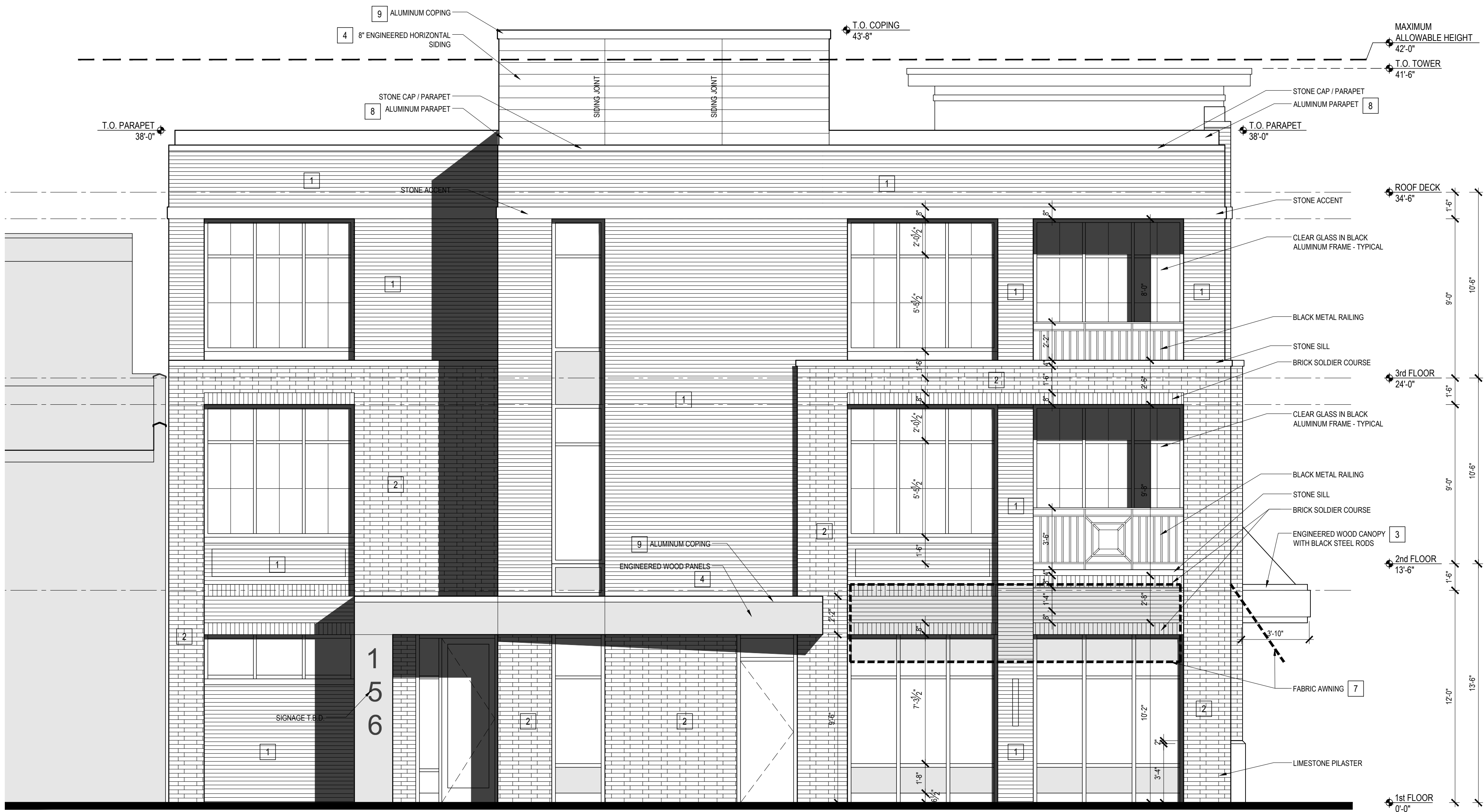


1  
A303  
PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



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1  
A304  
PROPOSED EAST ELEVATION  
1/4" = 1'-0"

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PROJECT ADDRESS  
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PROJECT NUMBER  
19.18

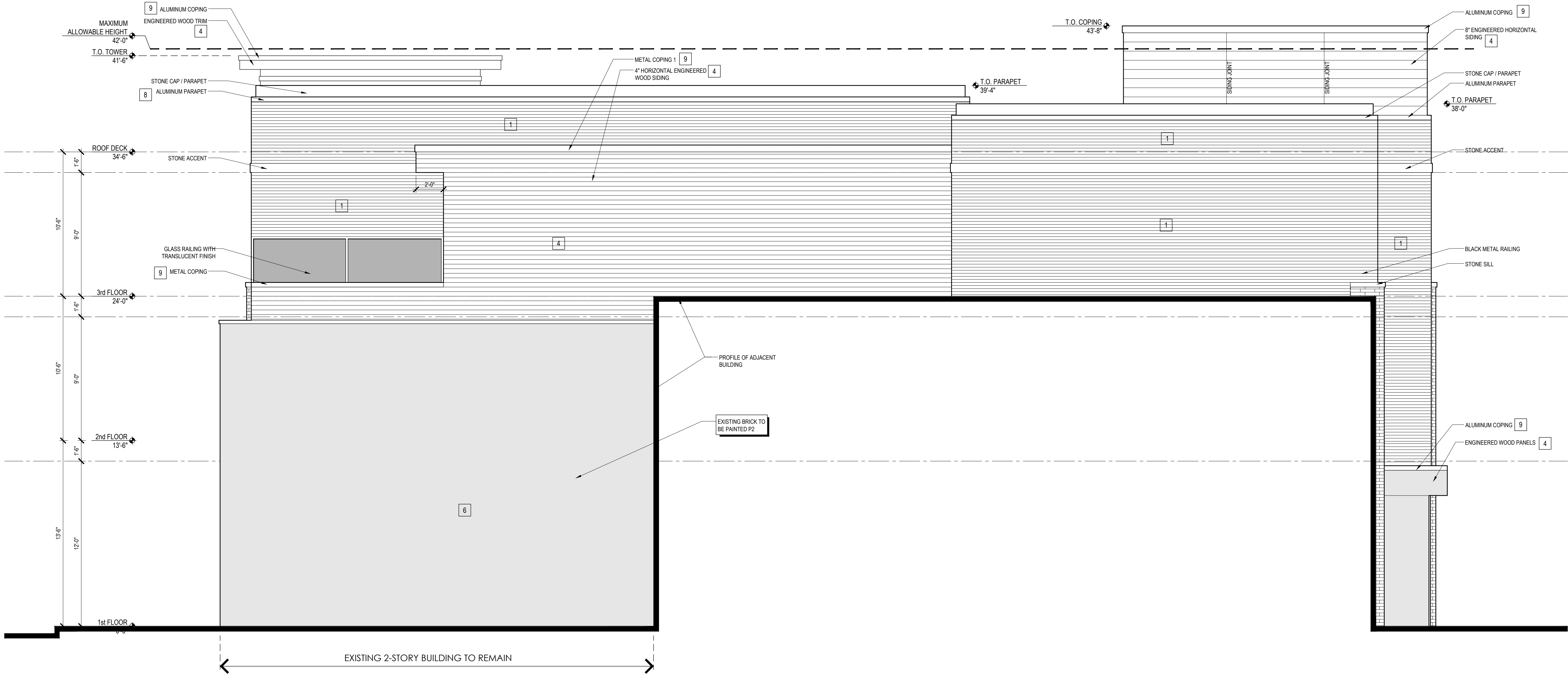
SHEET NAME  
PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER



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Northville, MI 48167

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19.18

SHEET NAME  
PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

A305



The Michigan Economic Development Corporation's Community Development Department is excited to announce three new resources available to support place-based small businesses. Read more below and discover how each of these new tools can be used to support local businesses within your community that have experienced economic challenges as a result of COVID-19.

### **Match on Main – COVID-19 Response Program**

The Match on Main COVID-19 Response Program temporarily expands the MEDC's Match on Main Program and will provide up to \$50,000 to local downtown management organizations to administer to eligible small businesses located in traditional downtowns, neighborhood and commercial districts, or areas planned and zoned for concentrated commercial development.

This program serves as a tool for local units of government, downtown development authorities, or other downtown management organizations that desire to support place-based businesses located in their traditional commercial districts by providing grant funding to eligible businesses in response to the COVID-19 crisis.

The local unit of government, downtown development authority, Main Street organization or other economic development organization that represents the downtown is eligible to apply for up to \$50,000. The minimum contribution that is able to be administered to any one business must be at least \$2,000, with a maximum of \$10,000. The applicant will determine which businesses are selected for inclusion in the application for support and at what desired grant amounts.

The application window is May 13, 2020 through May 29, 2020. All applications will be due by 5 p.m. on Wednesday, May 29.

Learn more about the program here: <https://www.miplace.org/match-on-main>

### **MI Local Biz – Crowdfunding Model for Small Businesses**

In response to the COVID-19 crisis, MEDC, in conjunction with the Detroit-based crowdfunding platform Patronicity, has developed "MI Local Biz," a creative funding mechanism that offers quick access to capital for small local businesses during this unprecedented time of need. The MEDC will match crowdfunding raises on a 1:1 basis up to \$5,000 for eligible small businesses experiencing economic challenges as a result of COVID-19 such as restaurants, bars, coffee shops, salons, hardware stores, retail shops, etc.

Modeled after the MEDC's highly successful Public Spaces Community Places program, MI Local Biz is a matching grant program that utilizes donation-based crowdfunding to generate public interest, raise funds to assist small businesses negatively affected by the COVID-19 crisis, and help position that business for re-opening as the crisis eases. By utilizing web-based donations, businesses are accessible to anyone willing to donate in real time. This crowd granting model engages the public as each person contributes in the effort to assist their local businesses. Also, this model instills community pride as residents become a conduit of support for their local economy.

Applications will be accepted through the Patronicity platform starting May 18, 2020 at 8 a.m. Business applications will be evaluated on a first come, first served basis. Limited funding is available.

Learn more about the program here: <https://www.patronicity.com/milocalbiz>



**Michigan Reopen Main Street Recovery Resources**

Main Streets across Michigan are currently operating in a new reality due to the impact of COVID-19. As a way to help Main Street directors, downtown development authority managers, small business owners and local stakeholders navigate the complexities of re-opening their local business districts - the MEDC has partnered with Reopen Main Street to compile a variety of recovery resources into one, easy-to-use website. The new website includes reopening strategies, ideas, hints and tips for businesses, business districts and organizations. View Michigan's Reopen Main Street website here: <https://michigan.reopenmainstreet.com/>

**Additional Resources Available Online**

- Access additional resources by visiting [michiganbusiness.org/covid19](https://michiganbusiness.org/covid19).
- Visit [michigan.gov/coronavirus](https://michigan.gov/coronavirus) to find valuable resources for employers, workers, residents and communities and stay informed on Michigan's latest efforts to mitigate the impact of the virus on our state's residents and economy.
- Information around this outbreak is changing rapidly. The latest information is available at <https://www.michigan.gov/coronavirus> and <https://www.cdc.gov/coronavirus>.